

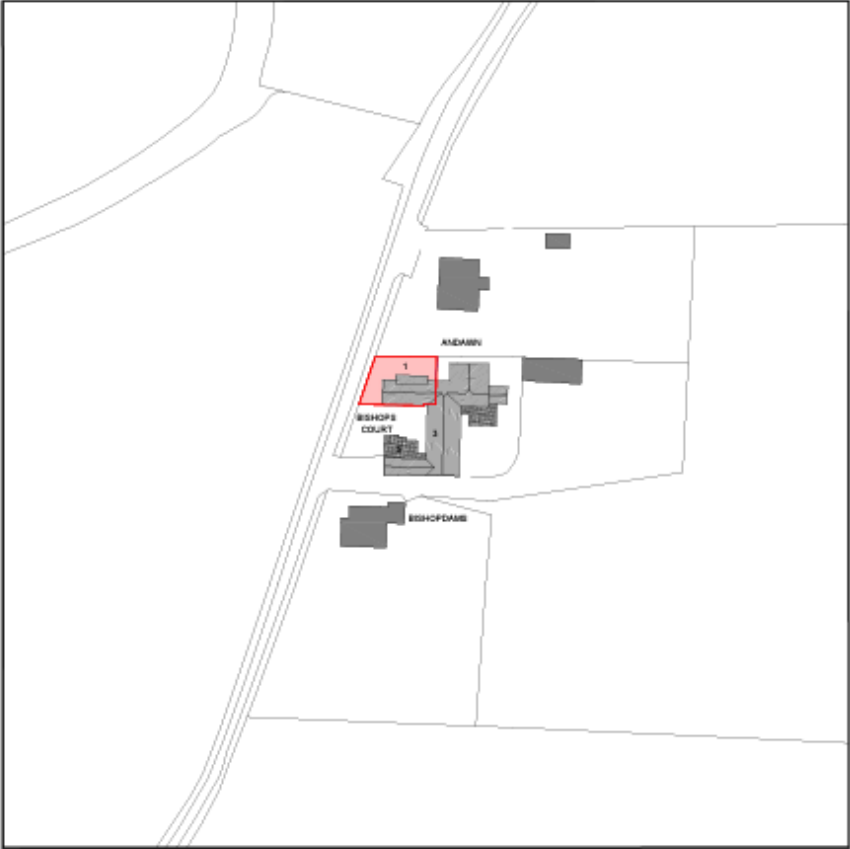
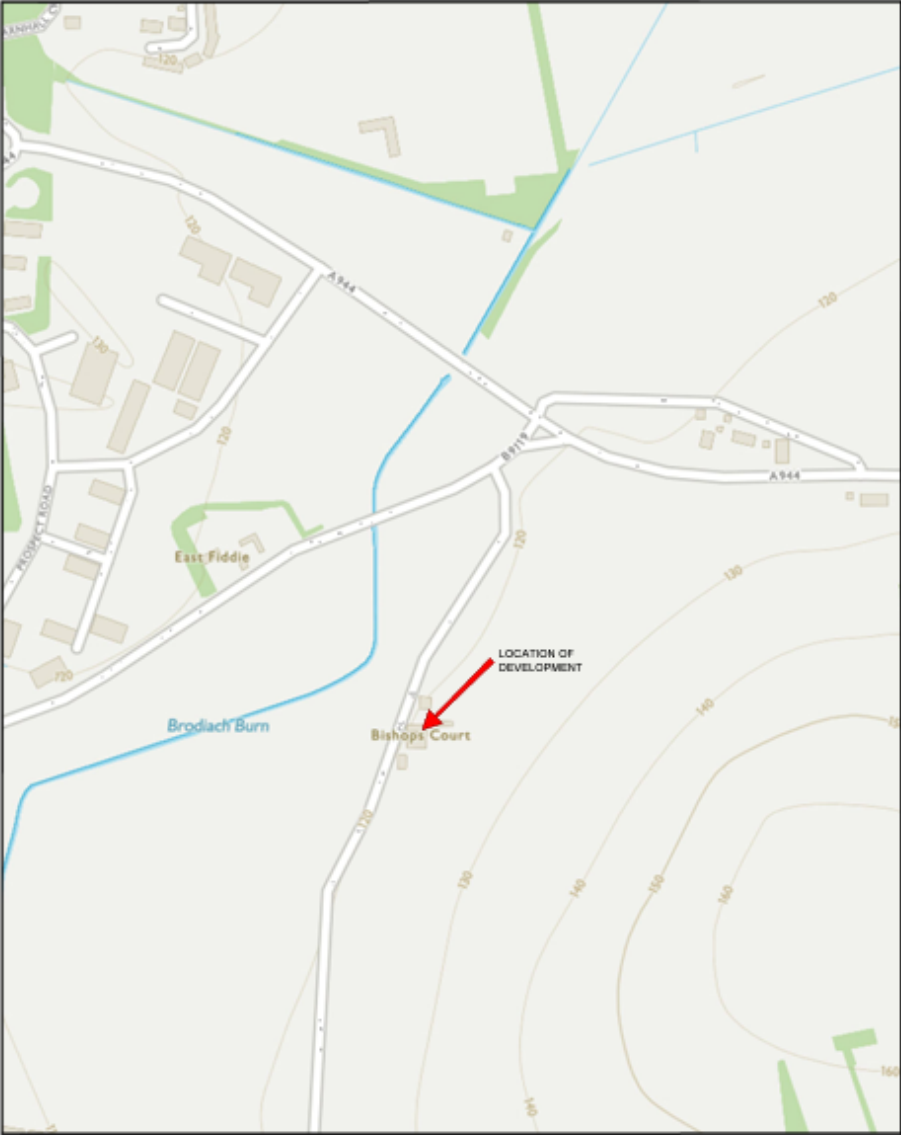
LOCAL REVIEW BODY



211012/DPP– Review against refusal of planning permission for:

Formation of dormer to rear
1 Bishop's Court,
Bishopdams Road
Aberdeen

Location Plan

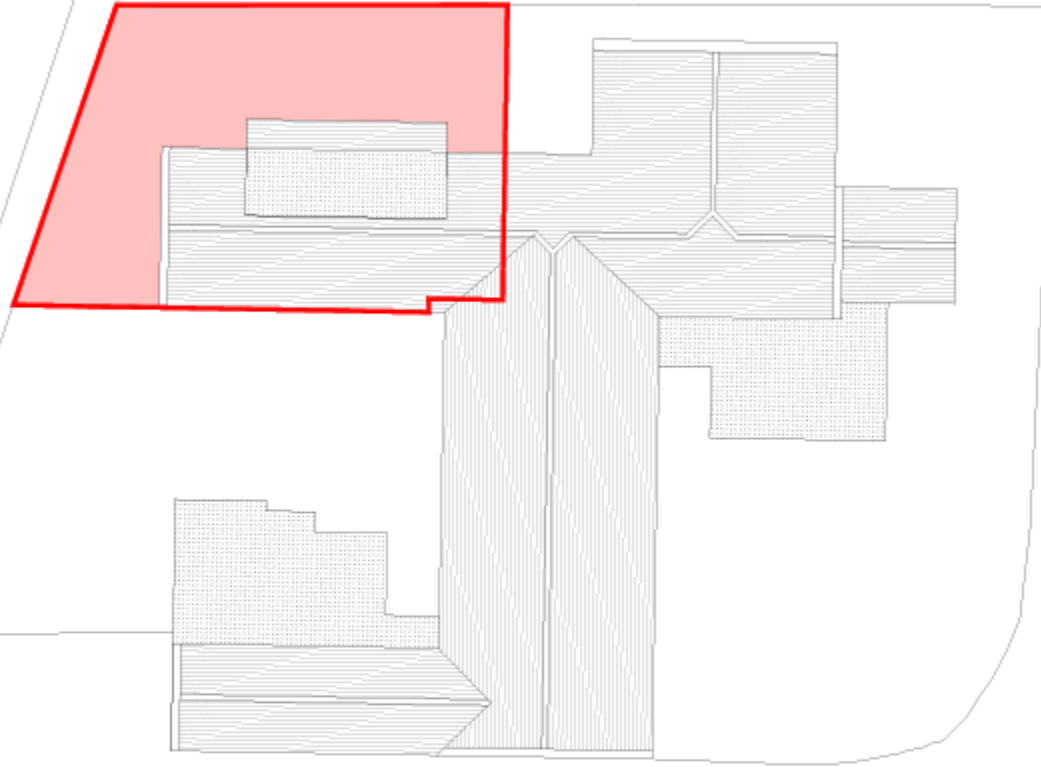




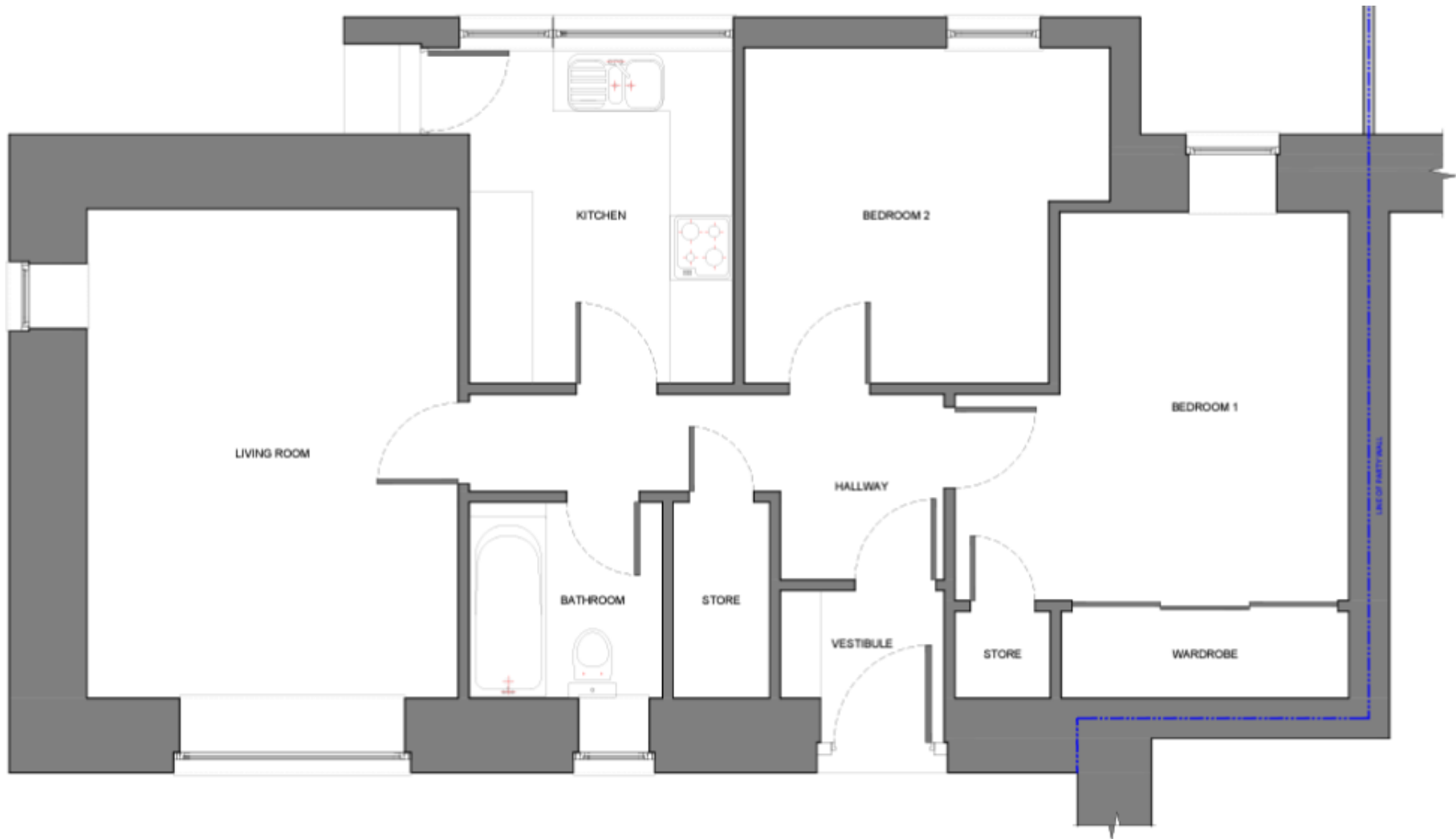
Dec 2021



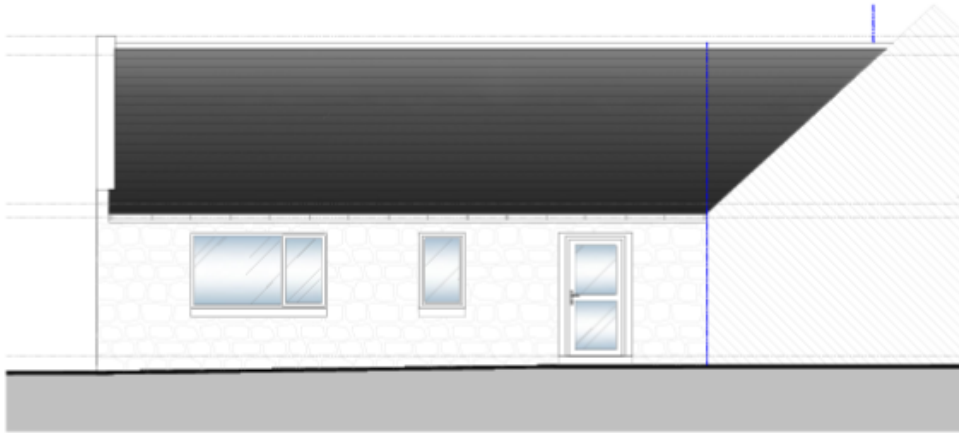
Roof plan as proposed





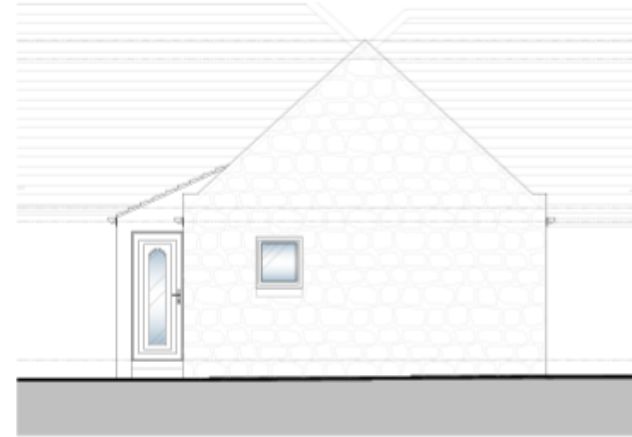


Existing Floor Plan
Scale 1:50 (on A3)



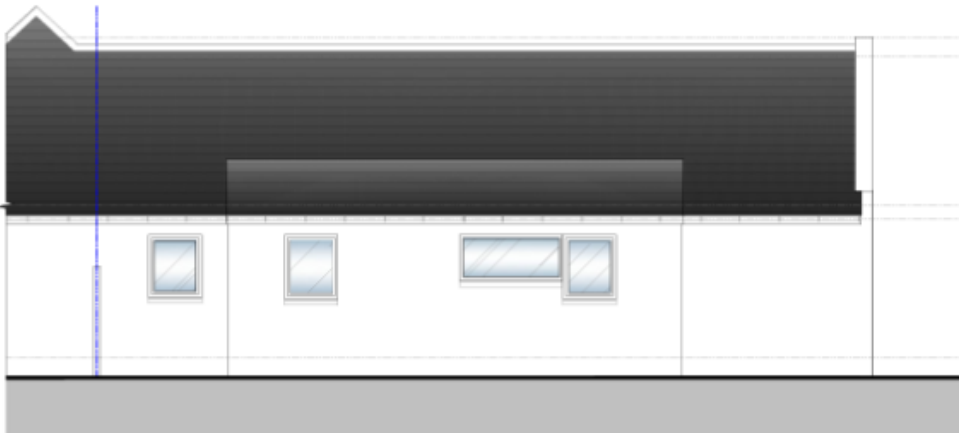
Existing Front Elevation (South)

Scale 1:100 (on A3)



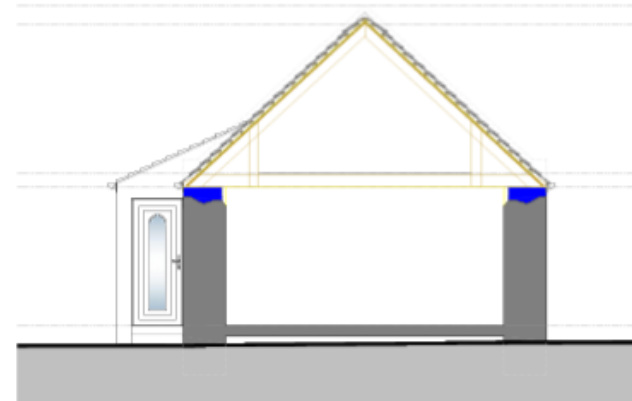
Existing Side Elevation (West)

Scale 1:100 (on A3)



Existing Rear Elevation (North)

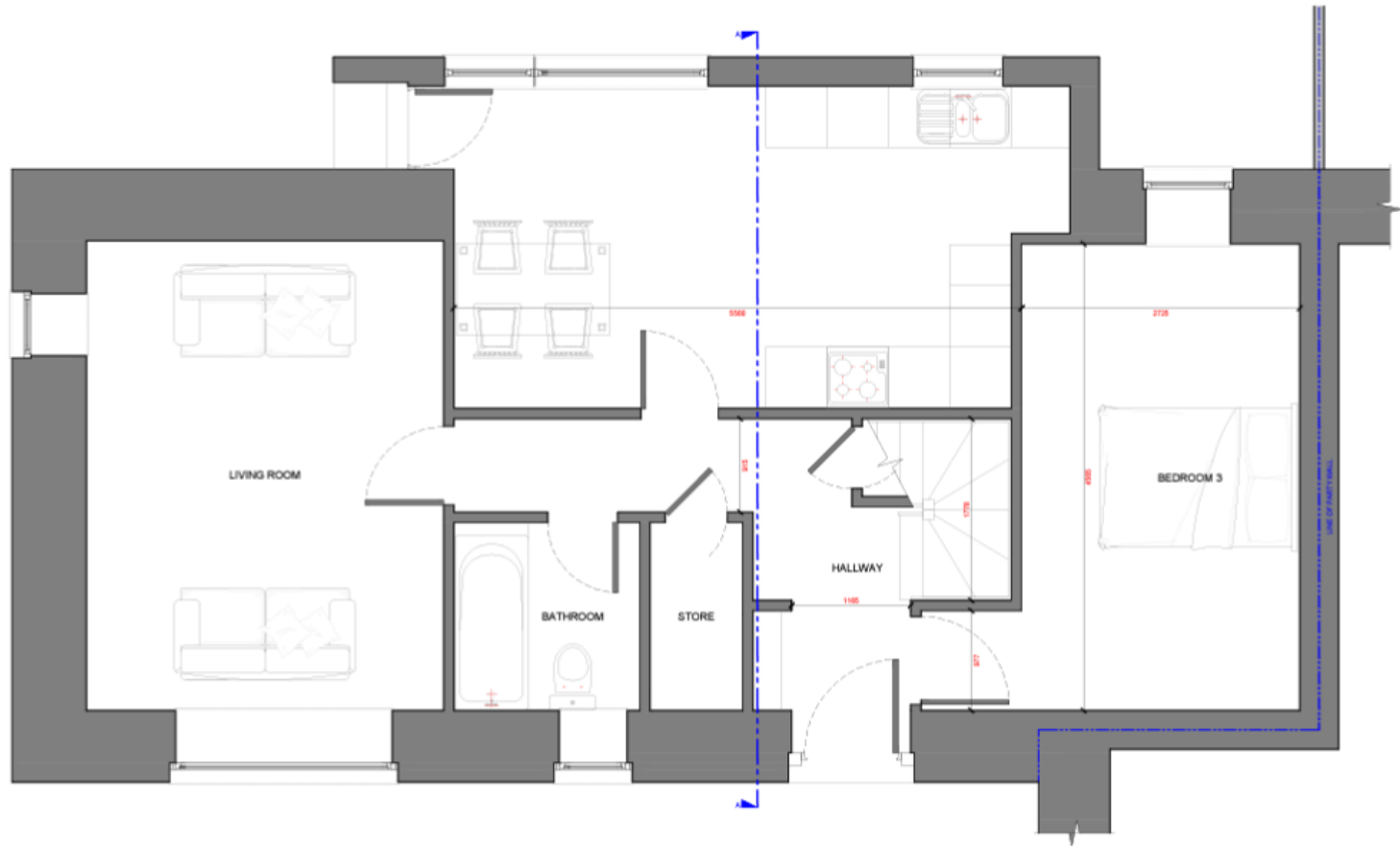
Scale 1:100 (on A3)



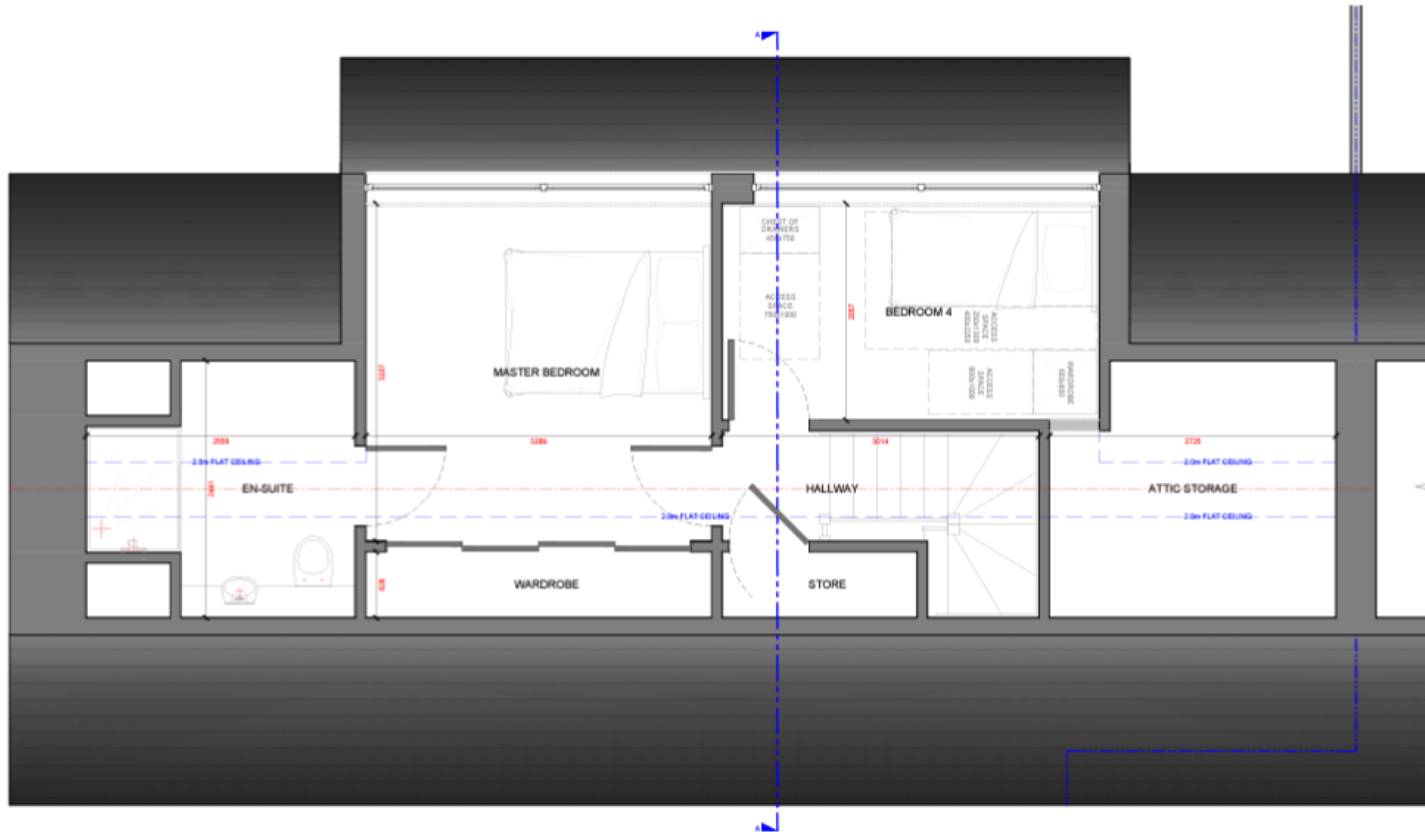
Existing Section A-A

Scale 1:100 (on A3)

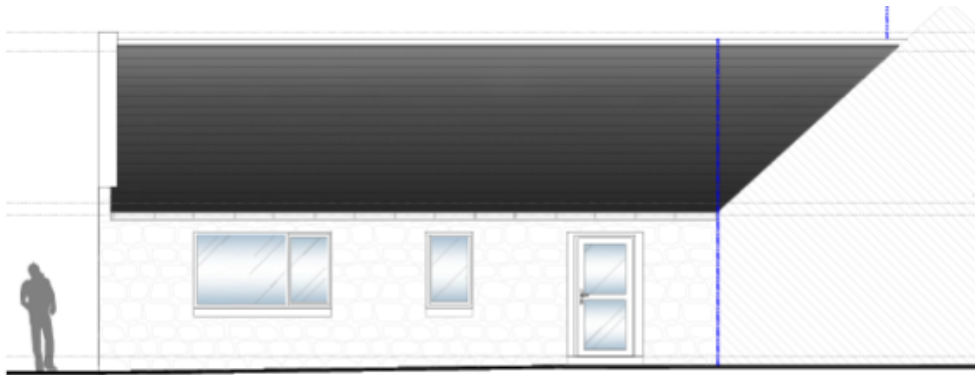
Ground floor plan as proposed



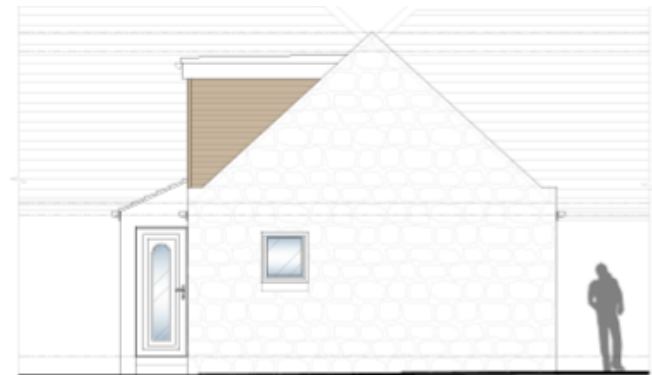
First floor plan as proposed



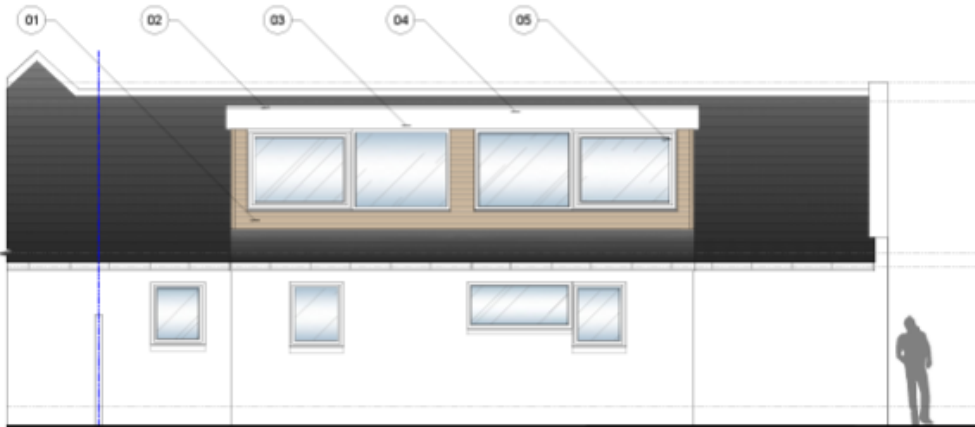
Proposed FF Plan
Scale 1:50 (on A3)



Proposed Front Elevation (South)
 Scale 1:100 (on A3)



Proposed Side Elevation (West)
 Scale 1:100 (on A3)



Proposed Rear Elevation (North)
 Scale 1:100 (on A3)



Proposed Section A-A
 Scale 1:100 (on A3)

Reasons for Decision

Stated in full in decision notice. Key points:

- Proposed contemporary dormer design, scale and materials would be architecturally incompatible with traditional historic agricultural steading building, contrary to Supplementary Guidance on the Conversion of Buildings in the Countryside
- Dormer would dominate roof slope, contrary to Householder Design Guide
- Prominently sited, is not of highest design quality and would have detrimental impact on Green Belt. Contrary to Policies D1 – Quality Placemaking by Design, and NE2 – Green Belt

Applicant's Case

- The former steading has been converted into five properties and there have been several alterations over the years since. Photographs are provided of a flat roof extension and dormers on the neighbouring former farmhouse
- Box dormer is required in order to provide head height within attic conversion.
- Not technically feasible to form two smaller dormers and provide access
- Timber – natural larch cladding will turn silvery and is appropriate
- Original form of building would remain and dormer is to the rear.
- Applications should be determined on individual merit taking into account the changing surroundings. In this case, these include Kingshill Commercial Park, Cormack Park and Arnhall Business Park

NE2: Green Belt

1. *Proposals for development associated with existing activities in the green belt will be permitted but only if all of the following criteria are met:*
 - a) *The development is within the boundary of the existing activity;*
 - b) *The development is small-scale;*
 - c) *The intensity of activity is not significantly increased; and*
 - d) *Any proposed built construction is ancillary to what exists.*

'All proposals for development in the Green Belt must be of the highest quality in terms of siting, scale, design and materials.'



D1: Quality Placemaking by Design

“All dev’t must “ensure high standards of design and have a strong and distinctive sense of place which is a result of context appraisal, detailed planning, quality architecture, craftsmanship and materials”.

Notes further guidance in SG, including Conversion of Buildings in the Countryside SG:

SG: Conversion of buildings in the Countryside

- *Vernacular buildings must not be changed to the extent that they lose their original form. The best conversions reinforce the original architectural qualities of a building.*
- *A limited number of openings in either external walls or the plane of the roof is a defining characteristic of traditional agricultural buildings and when the formation of new openings may be required, these should be kept to an absolute minimum. An accumulation of domestic scale windows can detrimentally affect the appearance and character of a traditionally agricultural building.*
- *Dormer windows, especially those of an urban style, look out of place on a steading roof and should be avoided.*
- *Where a dormer is unavoidable, it should be built off the wallhead in the style of a hayloft door, rather than the more common type of dormer set further up the roof.*



SG: Householder Development Guide

General Principles

- Should be architecturally compatible with original building (design, scale etc).
- Approvals pre-dating this guidance do not represent a 'precedent'

Dormers:

- Should not '*dominate or overwhelm*' original roof.
- On traditional properties, traditional, historically accurate dormers will be sought on public elevations.

Points for Consideration:

Zoning: Do members consider that the proposed works would adversely affect the green belt, as set out in policy NE2?

Design: Is the proposal of sufficient design quality (D1), appropriate to its context?

Does it accord with Policy D1 and SG on Conversion of Buildings in the Green Belt?

And, the Householder SG ?

Is there an adverse impact on residential amenity ?

1. Does the proposal comply with the Development Plan when considered as a whole?

2. Do other material considerations weigh for or against the proposal? Are they of sufficient weight to overcome any conflict with the Development Plan?

Decision – state clear reasons for decision

Conditions? (if approved – Planning Adviser can assist)